



PLATINGSHP TERRACE SITE SPECIFIC GUIDELINES

**LOTS 900 to 925
PLATINGSHP TERRACE, MIDLAND**

A COMPANION TO THE WORKSHOPS DESIGN GUIDELINES

Adopted by the Midland Redevelopment Authority 20 December 2011

MIDLAND REDEVELOPMENT AUTHORITY

the
WORKSHOPS

RELATIONSHIP TO THE WORKSHOPS DESIGN GUIDELINES

These Guidelines are a companion document to The Workshops Design Guidelines and the two shall be read in conjunction and applied together. Matters that add to, or vary from, those set out in The Workshops Design Guidelines are covered in these Platingshop Terrace Site Specific Guidelines. For clarity some matters are repeated in both documents.

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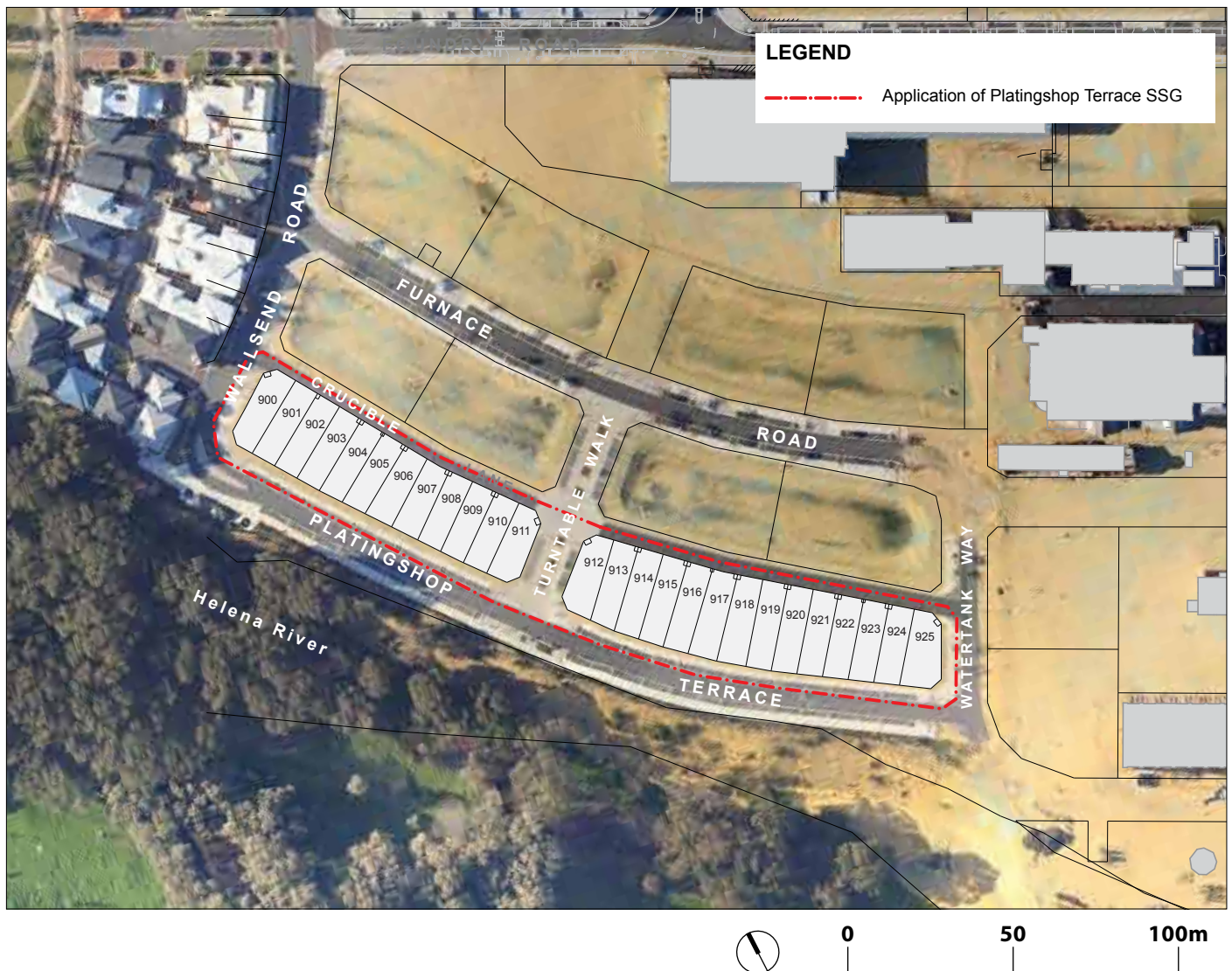
INTRODUCTION

These Site Specific Guidelines apply to development on Lots 900 to 925 Platingshop Terrace, Midland within The Workshops, part of the heritage listed former Midland Railway Workshops.

Platingshop Terrace is located in the Helena Precinct within the Midland Redevelopment Area. This land is under the planning and development control of the Midland Redevelopment Authority (MRA), an agency specifically established to assist with the revitalisation of Midland. The MRA is the determining Authority for Development Applications.

Platingshop Terrace is situated south of the rail line and traditional town centre of Midland. It is bounded by Crucible Lane to the north, Watertank Way to the east, Wallsend Road to the west and Platingshop Terrace to the south. The development lots front the Helena River and its associated open space.

FIGURE 1 – APPLICATION OF PLATINGSHOP TERRACE SITE SPECIFIC GUIDELINES



PLANNING FRAMEWORK

These Guidelines identify design expectations for development on Platingshop Terrace and provide more specific design guidance than the companion The Workshops Design Guidelines. The two must be used in conjunction.

The MRA has adopted the Platingshop Terrace Site Specific Guidelines pursuant to Part 5 of the Scheme and they should be read in conjunction with the Scheme Text, other relevant planning policies and particularly the adopted The Workshops Design Guidelines. In determining any application for planning approval, the MRA will have due regard to all relevant documents. The MRA may exercise discretion and will be supportive of development that, in its opinion, advances good urban design and the planning objectives of the Scheme.

HERITAGE CONSIDERATIONS

The Platingshop Terrace lots are on the permanent State Register of Heritage Places. Development applications will be referred to the Heritage Council of Western Australia for comment prior to determination by the Authority. Development must be in accordance with these policies, and The Workshops Design Guidelines and may be subject to other heritage policies and sustainability policies.

FIGURE 2 – WORKSHOPS HERITAGE CURTILAGE AND RELEVANT DESIGN GUIDELINES APPLICATION AREAS

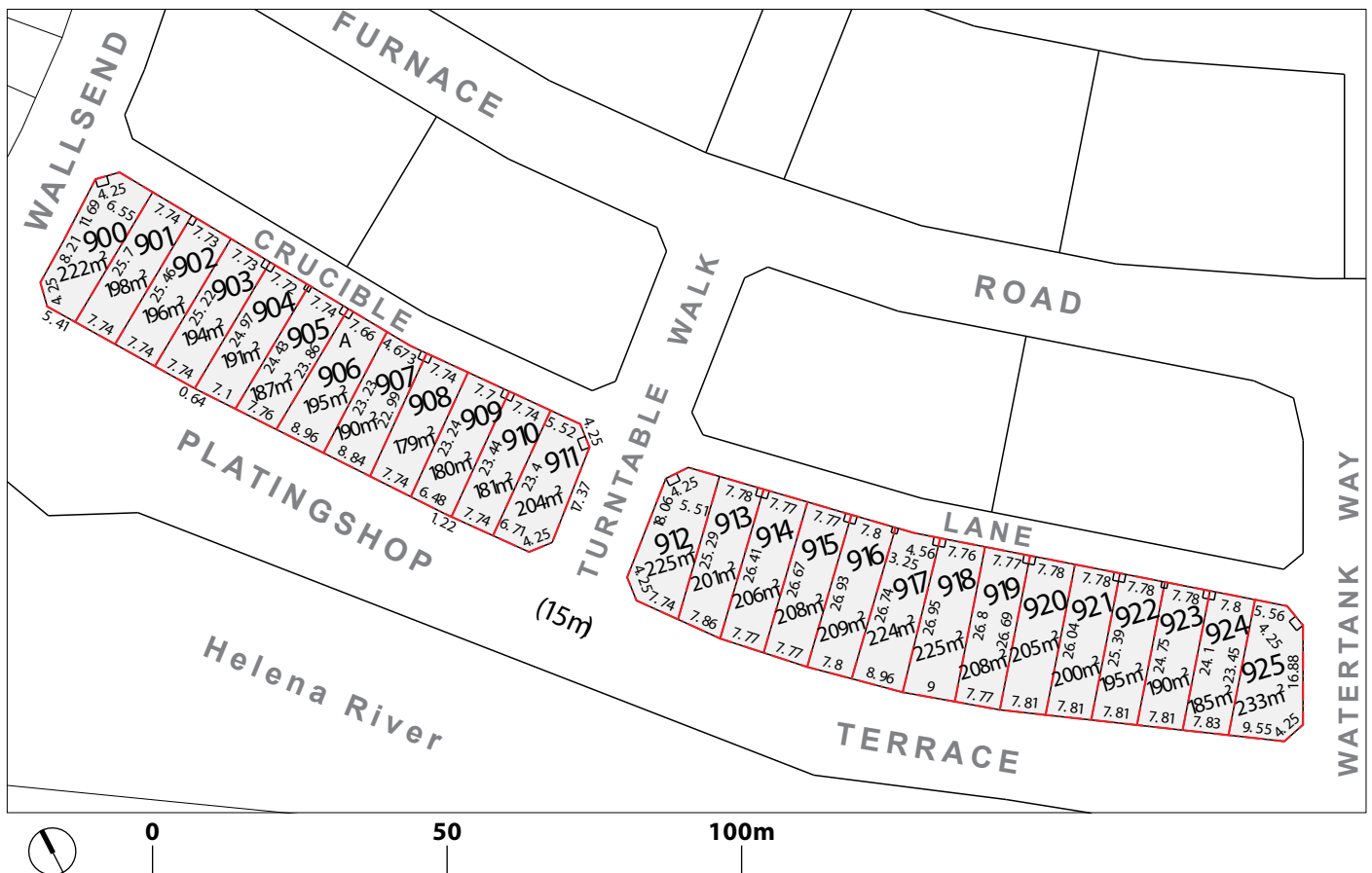


GUIDELINES

1. DESIGN INTENT

- 1.1 Development is required to present as two distinct parcels of 2-3 storey terrace housing, each designed to read as a single building of an industrial scale with an industrial aesthetic that is in keeping with the Workshops.
- 1.2 Development is to provide a contemporary design response whilst also remaining sympathetic to the heritage context of the Workshops.
- 1.3 Development is encouraged to incorporate:
 - A studio/bed-sit above the garage that is capable of being used independently from the primary dwelling.
 - A Home Occupation e.g. professional office or artist/design studio. The preferred location for this is at the front of the dwelling on the ground floor or above the garage addressing Crucible Lane.
 - An 'outdoor room' in the form of a deep upper level balcony at the front of the dwelling or a roof terrace.

FIGURE 3 – LOT DIMENSIONS & AREAS



2. BUILDING ENVELOPE AND SETBACKS

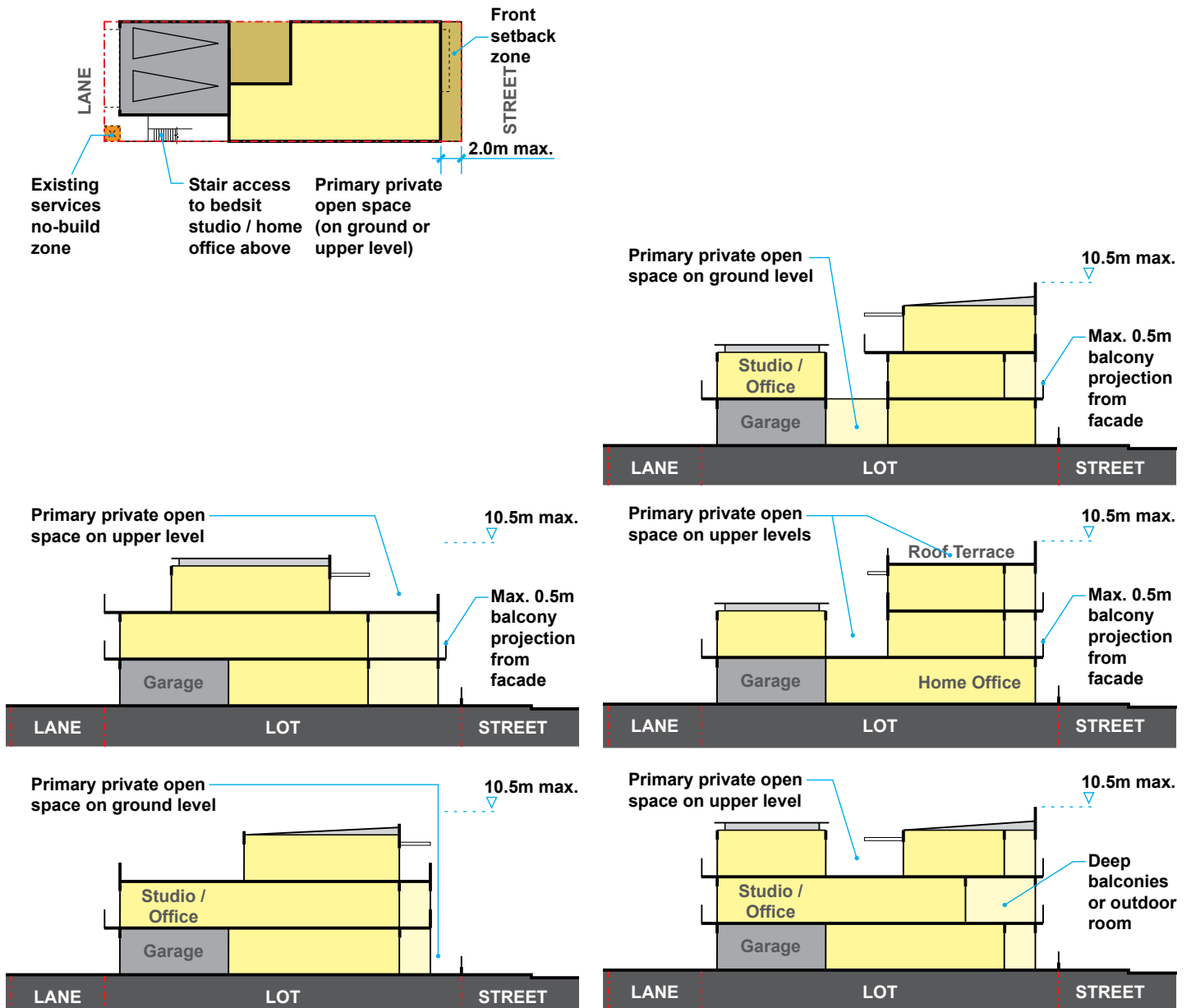
Objective: To ensure that dwellings provide a strong street edge and are of an appropriate massing and scale.

HEIGHT

- 2.1 Development shall be a maximum of 3 storeys and a minimum of 2 storeys.
- 2.2 The overall height of the building including any parapet shall not exceed 10.5m and shall be consistent within each run of terraces. Roofs shall not project above parapets.

Note: All heights are measured from finished ground level of the footpath on the adjacent street unless stated otherwise.

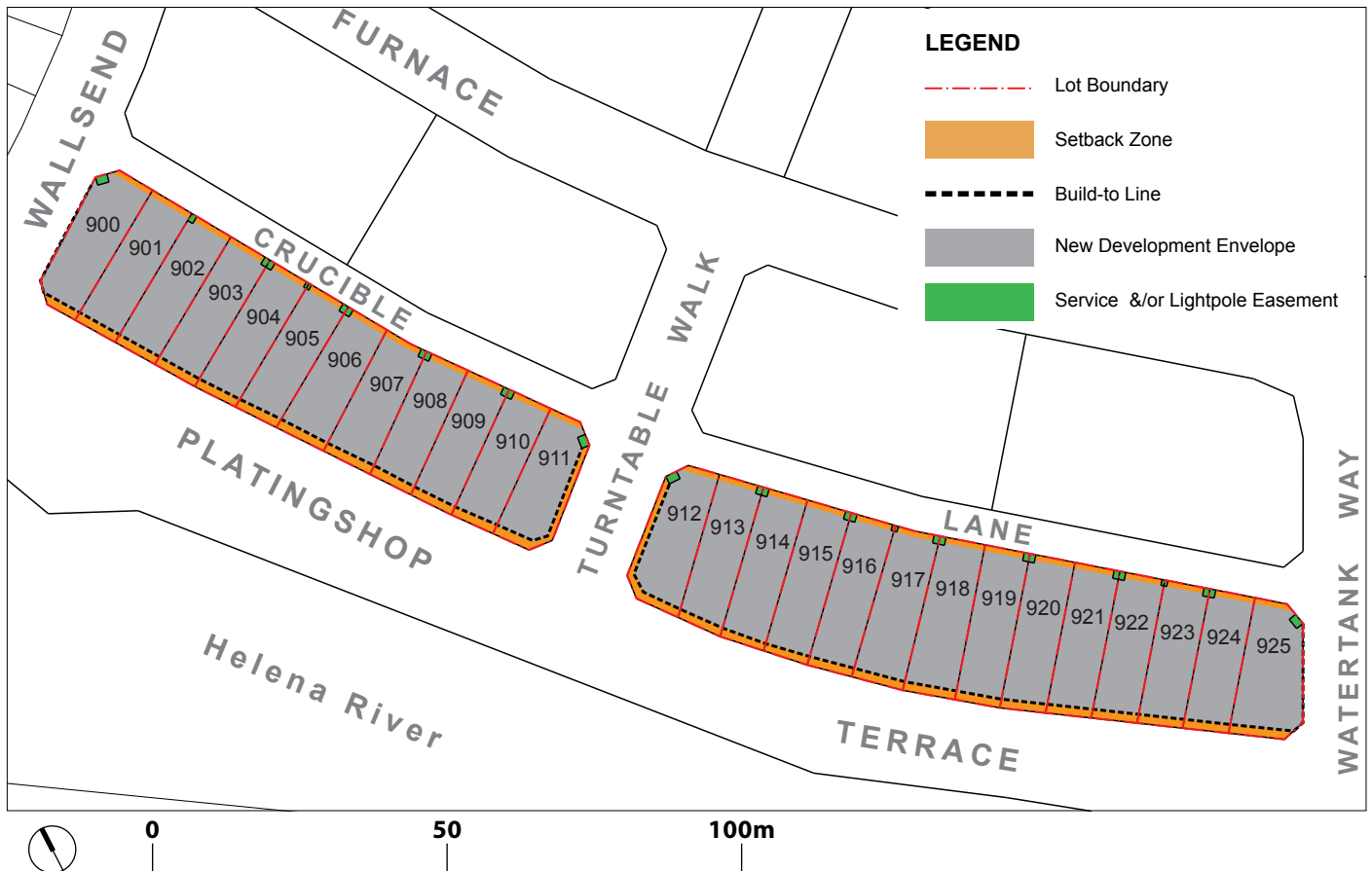
INDICATIVE PLAN AND SECTIONS ILLUSTRATING KEY ELEMENTS AND POTENTIAL MASSING AND ARRANGEMENT OPTIONS



SETBACKS

- 2.3 Development shall create a continuous front façade that is set back a maximum of 2.0m from the front street boundary. The setback may vary in order to establish a straight alignment for the frontage of the terraces.
- 2.4 Nil side boundary setbacks are required between lots. A nil setback to the secondary street frontage is permitted for Lots 900 & 925 whilst a 1.0m minimum setback is required for Lots 911 & 912 abutting Turntable Walk.
- 2.5 Balconies and awnings may project out toward the lane on upper floors but shall be set back 1.0m from side boundaries and shall be contained within the lot boundaries.
- 2.6 Eaves, awnings, pergolas and other components of the building are not permitted to project into the front or side setback by more than 0.5m.
- 2.7 A minimum 1.0m rear setback is required to the lane.

FIGURE 4 – BUILDING SETBACKS



3. BUILT FORM AND FINISHES

Objective: To ensure that development contribute to the desired Workshops industrial aesthetic.

- 3.1 The building massing and articulation shall read as a contemporary interpretation of the Workshops industrial style buildings. Key elements include:
 - robust and simple form
 - rhythm of regular vertical bays
 - regular openings with a vertical proportion.
- 3.2 Corner lots shall address all frontages, with fenestration, balconies and appropriate detailing that responds to the setting and offers casual surveillance of public spaces.
- 3.3 Roofs shall be flat or skillion and screened by a parapet wall to both primary and secondary frontages.
- 3.4 Windows and openings are to have a vertical proportion, should reflect the desired industrial aesthetic and respect the established architecture, providing clearly defined door and window openings in predominantly solid exterior walls.
- 3.5 An inset style of balcony is sought to retain emphasis upon the facade walls as a strong design element.



Pitched and gabled roof forms are not permitted.



The industrial aesthetic can be achieved through choice of material and colour.



Balconies are encouraged.



Roofs are to be screened by a parapet.

4. SAFETY AND ACTIVATION

Objective: To ensure that development provides a sense of security and contributes to overall safety.

- 4.1 Locate habitable room windows and active uses to overlook public spaces.
- 4.2 Balconies and outdoor living rooms and terraces are sought to address all public street frontages.
- 4.3 Each studio/ bed-sit/home office above a garage should have a balcony overlooking the laneway. Awning and louvres may be incorporated to aid in privacy while maintaining a visual connection to the street or lane.



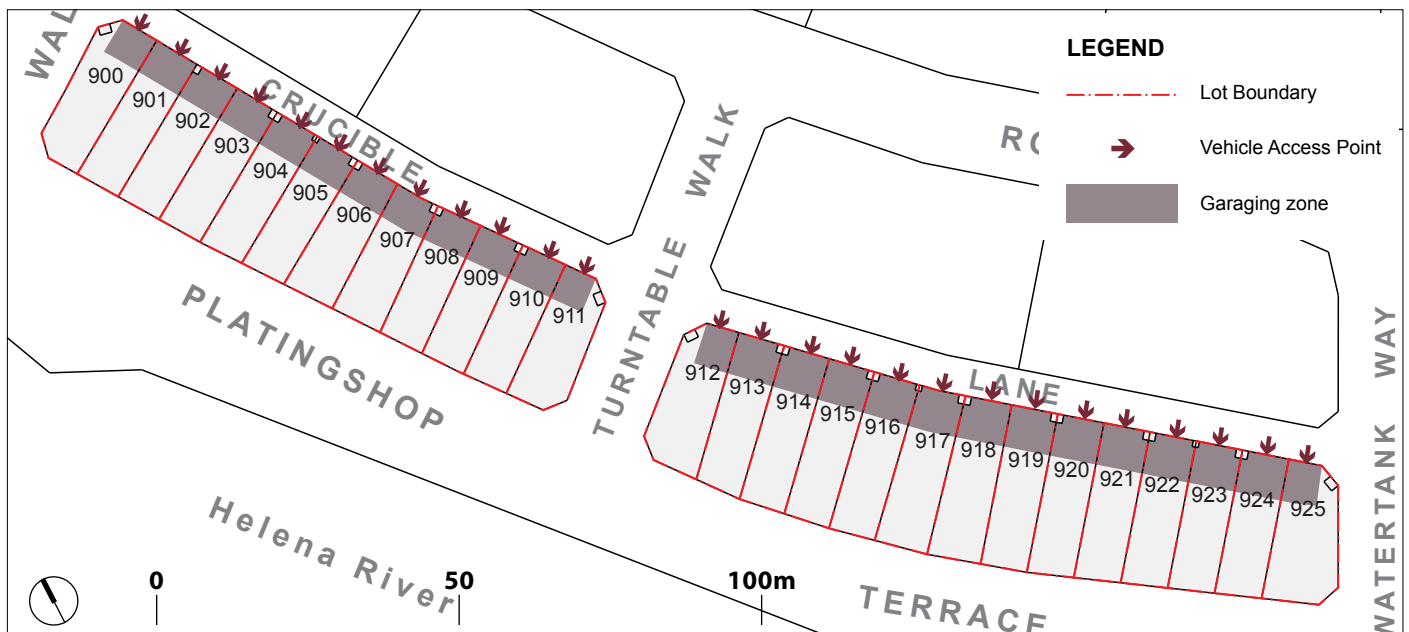
Balconies to the rear of the property are encouraged.

5. VEHICLE ACCESS AND PARKING

Objective: To provide adequate, safe and convenient vehicle access that does not dominate or detract from the streetscape.

- 5.1 All parking is to be accessed off the rear lane.
- 5.2 Each lot shall make provision for bicycle and scooter parking.

FIGURE 5- ACCESS AND PARKING



6. PRIVATE OPEN SPACE

Objective: To encourage a variety of private open spaces within each lot that take advantage of the setting and offer amenity to occupants.

- 6.1 At least one primary area of open space shall be provided with a minimum area of 20m² and a minimum dimension of 4m.
- 6.2 The primary private open space area need not necessarily be located at ground level. Upper level courtyards and roof terraces are encouraged, provided that an adequate level of privacy can be demonstrated for both the proposed development and adjacent dwellings.
- 6.3 At least two other useable outdoor living areas shall be provided for each lot and may include balconies, verandahs and roof terraces.
- 6.4 At least one significant outdoor living area per lot shall overlook the Helena River foreshore and Platingshop Terrace.
- 6.5 Balconies are encouraged to all frontages, side streets and to overlook the lane and take advantage of the northern aspect. Balconies shall include areas of visually permeable balustrades to improve casual surveillance of the public realm.

7. FENCING

Objective: To ensure fencing maintains casual surveillance and contributes to streetscape quality.

- 7.1 Fencing is required to all front boundaries and to side boundaries on corner lots.
- 7.2 Fencing is to be designed as a low wall between 1.0 -1.2m in height with piers and metal infill railings. There may be a solid wall below the railings.



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